



# EAGER SQUARE

1900 + 1901 EAST EAGER STREET  
BALTIMORE, MARYLAND 21205

## UDARP DESIGN REVIEW

CONTINUED SCHEMATIC DESIGN  
FEBRUARY 2, 2017

**PRESENTED BY:**  
Scott Levitan, Forest City – New East Baltimore Partnership

Michael Wiencek, Wiencek + Associates

Ivy Dench-Carter, Pennrose Properties



**PENNROSE**  
Bricks & Mortar | Heart & Soul

**AVG**  
PARTNERS

PENNROSE

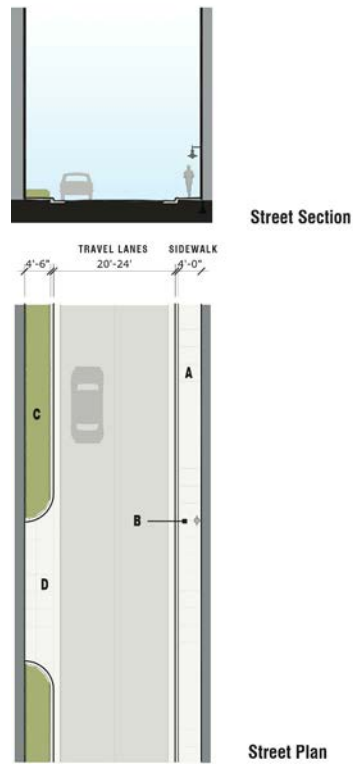
575 S. Charles Street, Suite 140, Baltimore, MD 21230

Wiencek + Associates Architects + Planners, DC LLP

1100 Vermont Avenue NW, 8th Floor, Washington, DC 20005

<u>UDARP Comments 1/12/17</u>	<u>Proposed Revision 2/2/17</u>	<u>Revised Sheet(s)</u>
1. <u>Building B</u> : Clarify the streetscape intent along Eager Street, particularly against the building's face.	Plans have been updated to coordinate with the PUD Streetscape Design Standards and details added for clarity. Approximation of trees have been added to elevations to enhance representation of streetscape scale.	4, 5, 6, 7, 8, 9, 10
2. <u>Building A</u> : Clarification on the streetscape and semi-private landscaped spaces on the Eager Street side of the Townhouses.	Plans have been updated to coordinate with the PUD Streetscape Design Standards and details added for clarity. Approximation of trees have been added to elevations to enhance representation of streetscape scale.	4, 5, 7, 9, 12, 13, 14
3. <u>Building B</u> : The lack of activity along the Eager Street façade is of serious concern. Study creating townhouse or live/work units along this facade at the ground level to bring human activity and more eyes on the street.	New direct exterior entries have been added to units facing Eager Street to activate the streetscape.	6, 7, 8, 11
4. <u>Building B</u> : Clarify service, delivery and trash removal accommodations.	Ground floor plan has been revised.	6
5. <u>Building B</u> : Clarify intent on Wolfe Street units facing the park and consider a slightly more residential façade character.	Rails have been added to the middle portion of the façade to improve residential character. Details of rail design to be provided at Final Design review.	9
6. <u>Building A</u> : Consider Washington Street "endcap" treatment similar to Wolfe Street to diminish widened view into parking and service area.	A brick screen wall has been added to better control pedestrian views into the service area.	9, 12
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8. <u>Building B</u> : Verify that adequate sunlight penetration is provided for the interior courtyard.	A new solar study has been added.	15
9. <u>Building B</u> : Provide more information on the proposed mechanized parking.	Information regarding the mechanized parking has been added.	16



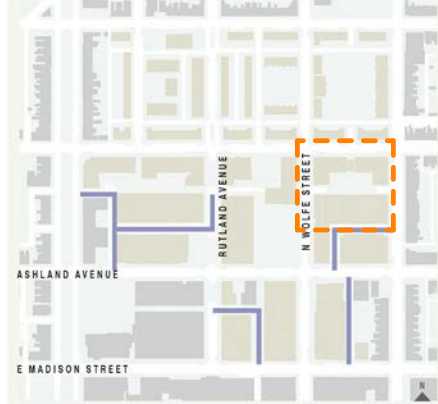


### Commercial Way

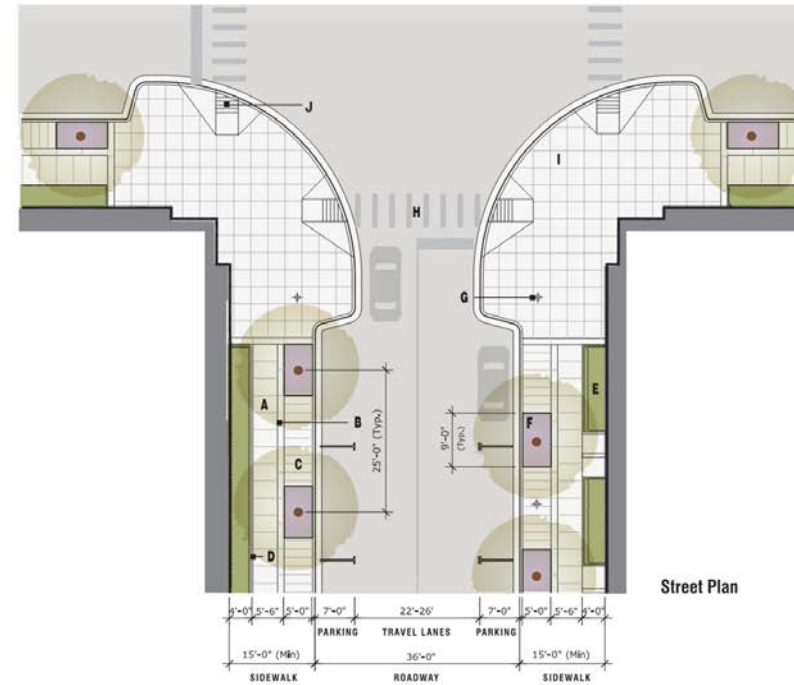
Commercial Ways allow service to access buildings in the commercial zone. They include two driving lanes flanked by a 4' sidewalk on one side and a planting bed on the other.

- A Cast in place concrete with medium broom finish, scored at 3' intervals with 2" wide border.
- B Street lighting fixture. Pole or optional building-mounted fixture. See Street Lighting Diagram for fixture type.
- C Planting bed.
- D Cast in place concrete service aisle, scored in 3' x 3' pattern.

Note: Refer to the Streetscape Details for additional information.



Key Plan



Street Plan

### Residential Intersection

Residential intersections resolve the residential street condition in a similar manner to the commercial intersections whereby the sidewalk paving pattern terminates into a 3' x 3' scoring pattern at the bulb-outs.

- A Cast in place concrete with medium broom finish, scored at 3' intervals with 2" wide border.
- B 14" wide concrete band with light broom finish, scored at 4'-6" intervals.
- C Cast in place concrete with medium broom finish, scored at 18" intervals.
- D 5" high precast concrete curb at planting beds. Hanover rock curb, 18" height, bullnose edge, limestone gray.
- E Planting bed.
- F Deciduous tree and 5' x 9' tree well with gravel mulch over filter fabric. Tree spacing at 25' centers. See Street Tree Diagram for tree type.
- G Street lighting fixture. See Street Lighting Diagram for fixture type.
- H Pedestrian crosswalk.
- I Cast in place concrete sidewalk bulb-out with medium broom finish, scored in 3'x3' pattern with 2" border.
- J 12" x 12" truncated dome paver, Hanover precast paver, charcoal, Tudor finish.

Note: Refer to the Streetscape Details for additional information.



Key Plan



Street Plan

### Commercial Street

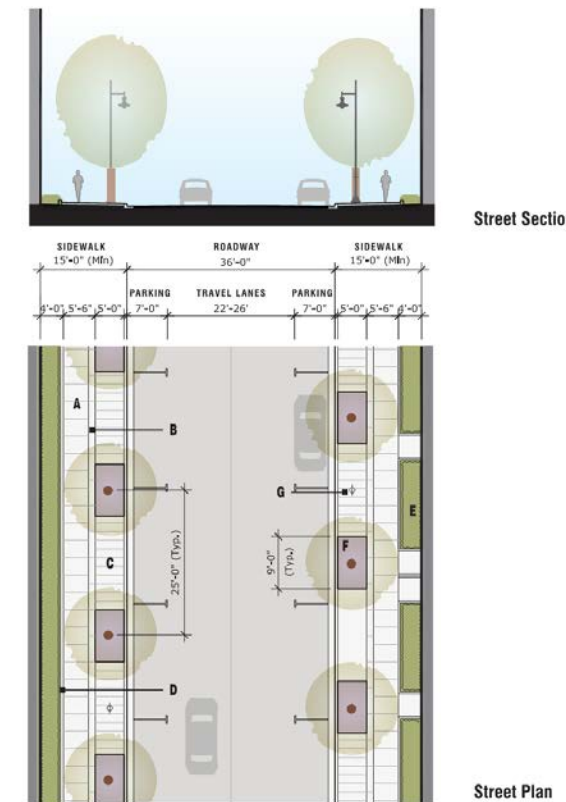
Commercial streetscapes are defined by two travel lanes and two parallel parking lanes flanked by sidewalks that are a minimum of 15' in width.

- A Cast in place concrete with medium broom finish, scored at 3' intervals with 2" wide border.
- B 14" wide concrete band with light broom finish, scored at 4'-6" intervals.
- C Cast in place concrete with medium broom finish, scored at 18" intervals, or alternate special paving.
- D 8" x 8" brick pavers. Field varies per building design.
- E Deciduous tree and 5' x 9' tree well with gravel mulch over filter fabric. Tree spacing at 25' centers. See Street Tree Diagram for tree type.
- F Street lighting fixture. See Street Lighting Diagram for fixture type.
- G Special paving at major building entrance. Patterning and use of materials that are reflective of building entrance is encouraged.

Note: Refer to the Streetscape Details for additional information.



Key Plan



Street Plan

### Residential Street

The residential streets are similar in design to the commercial streets, with the exception that the sidewalk on each side of the road is subdivided into a walking area and planting zone along the edges of the buildings.

- A Cast in place concrete with medium broom finish, scored at 3' intervals with 2" wide border.
- B 14" wide concrete band with light broom finish, scored at 4'-6" intervals.
- C Cast in place concrete with medium broom finish, scored at 18" intervals.
- D 5" high precast concrete curb at planting beds. Hanover rock curb, 18" height, bullnose edge, limestone gray.
- E Planting bed.
- F Deciduous tree and 5' x 9' tree well with gravel mulch over filter fabric. Tree spacing at 25' centers. See Street Tree Diagram for tree type.
- G Street light fixture. See Street Lighting Diagram for fixture type.

Notes: East Chase Street deviates slightly from the typical residential streetscape in that the sidewalk is only 11'-6" wide, not the typical 15'.

Refer to the Streetscape Details for additional information.



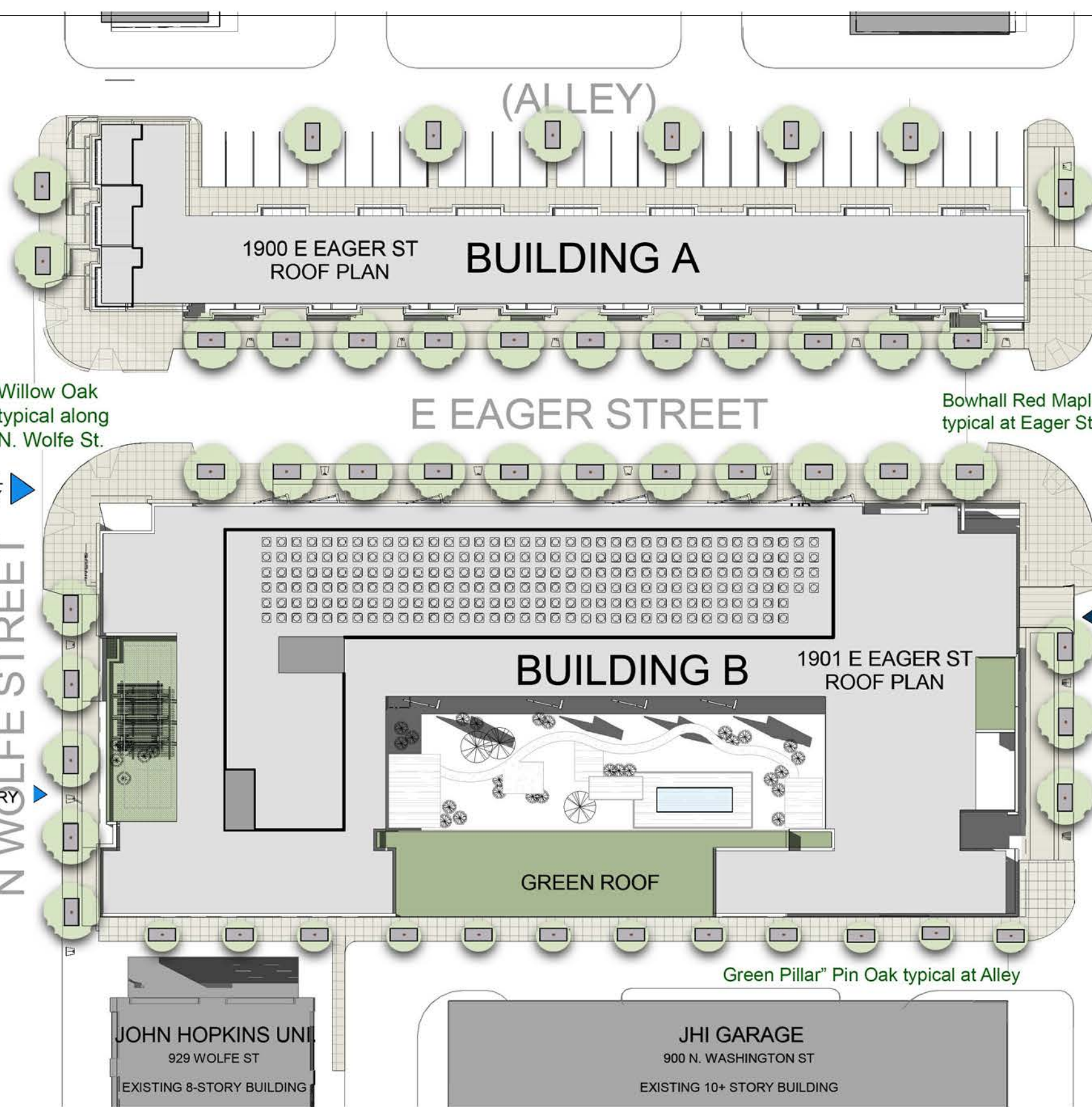
Key Plan



EAGER PARK



EAGER PARK



Armstrong Maple along N. Washington St



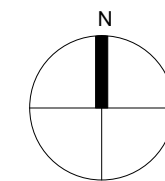
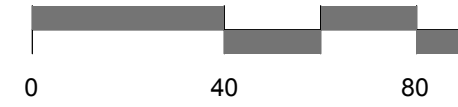
Bowhall Red Maple along Eager Street



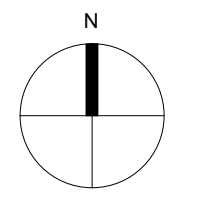
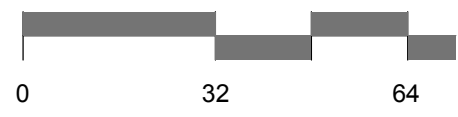
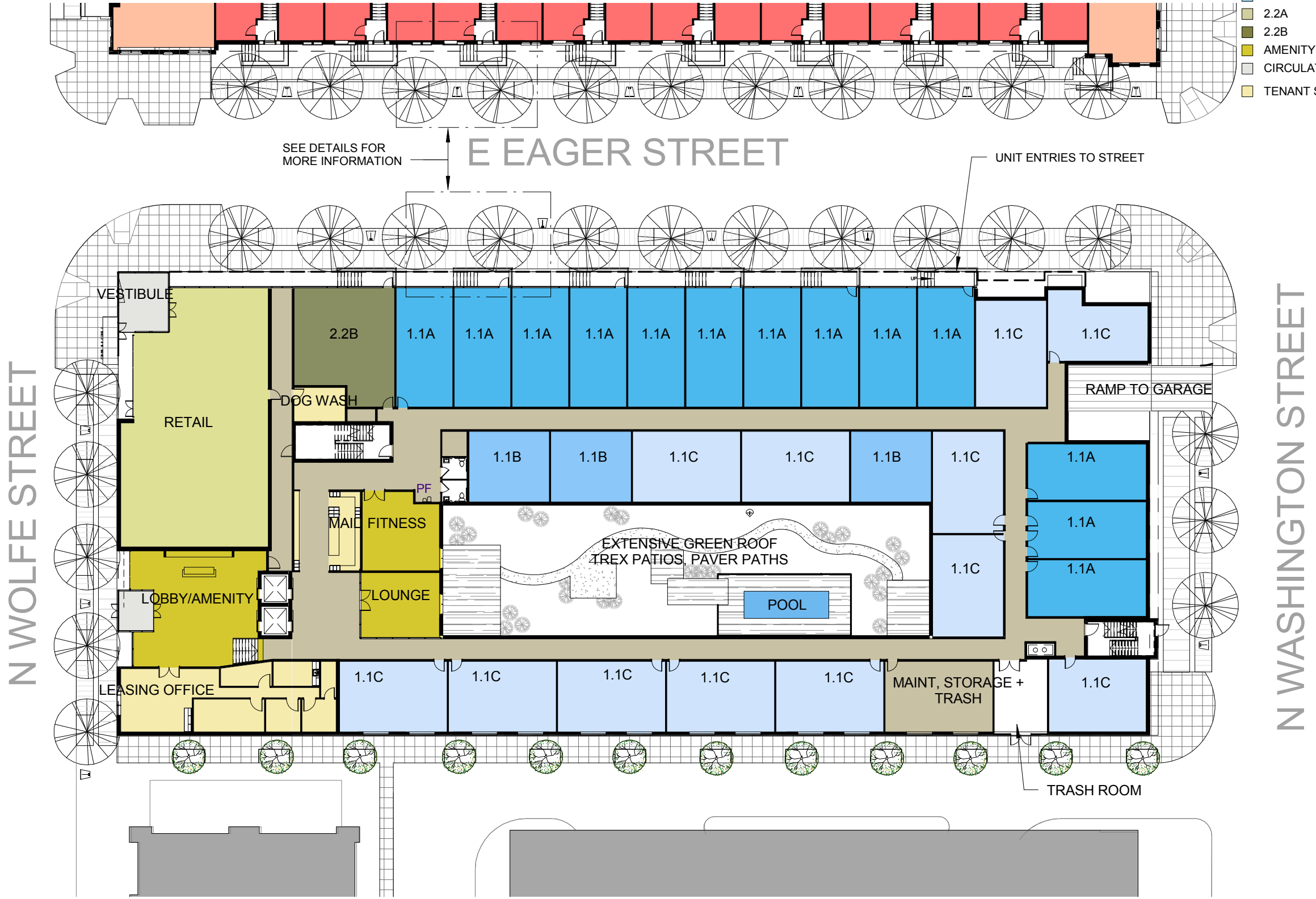
"Green Pillar" Pin Oak along Barnes Street

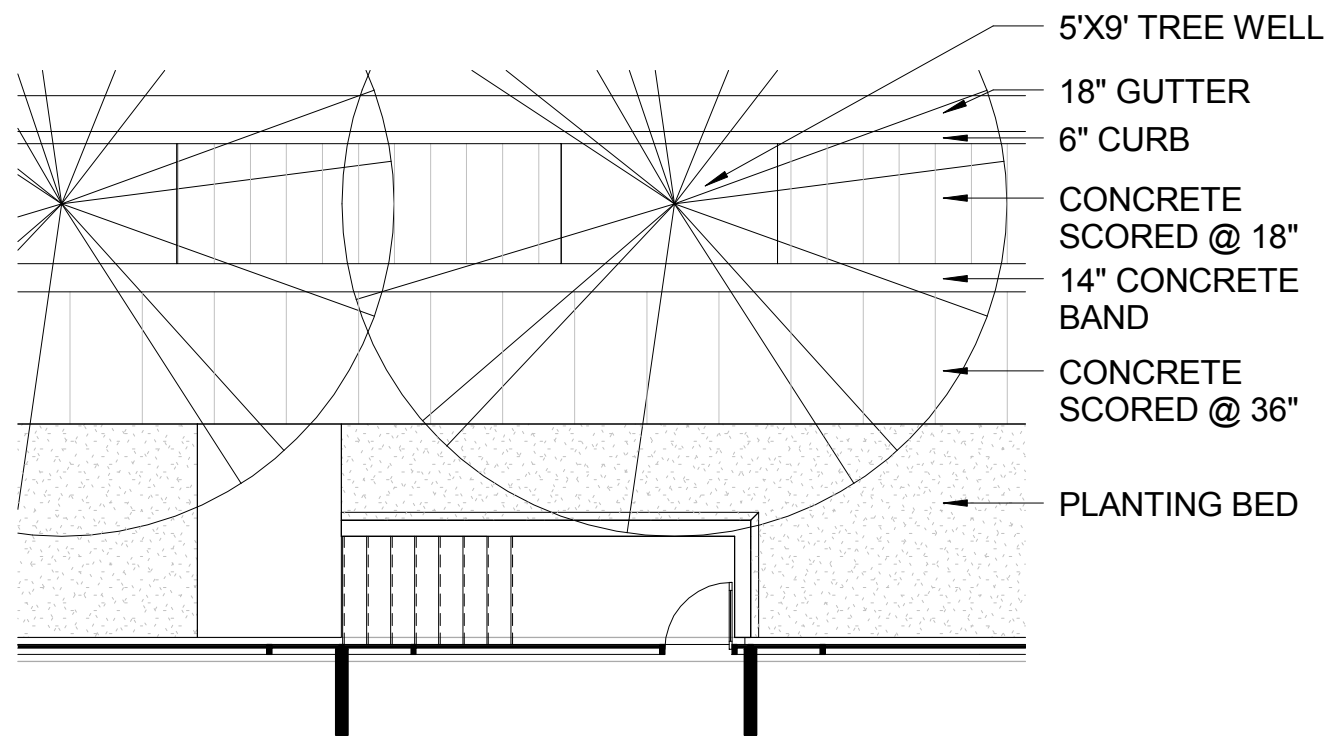


Willow Oak along N. Wolfe Street

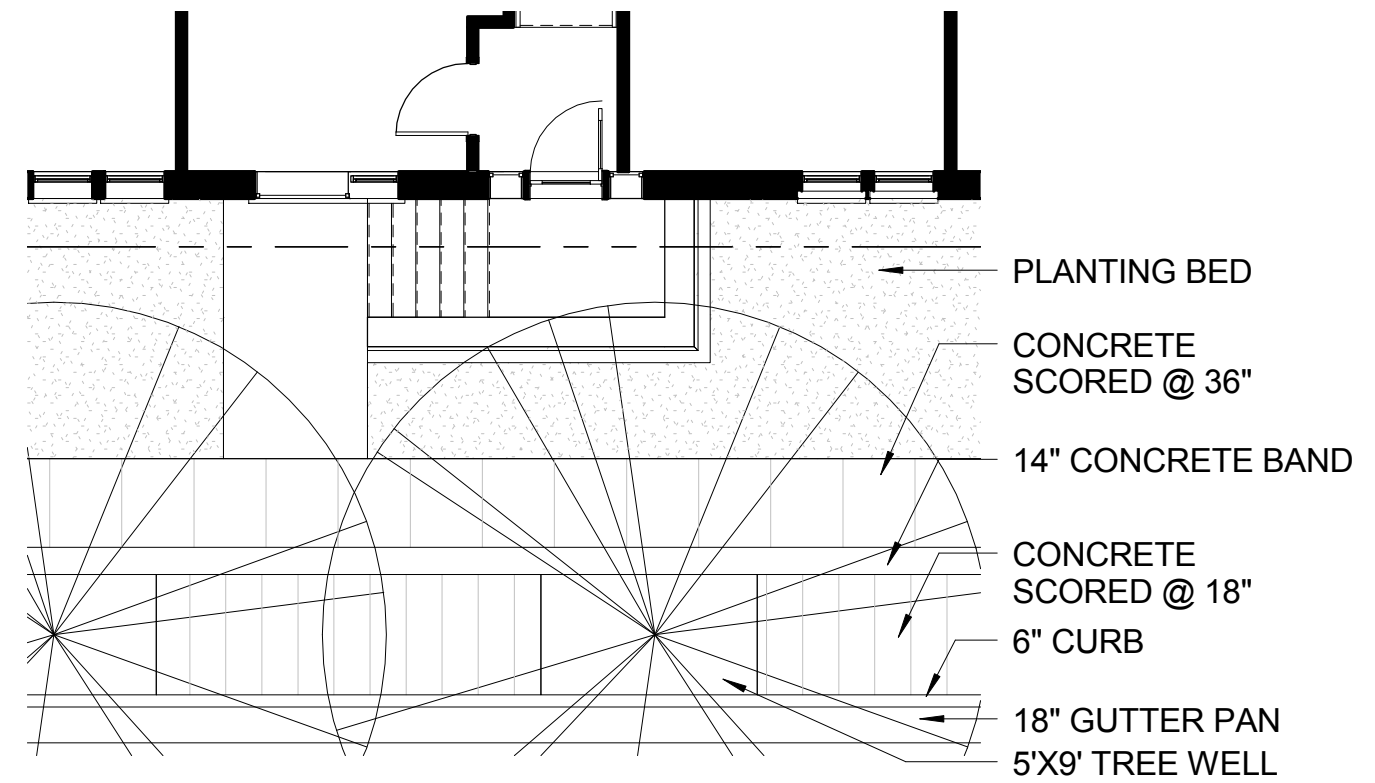


- LEGEND**
- 1.1A
  - 1.1B
  - 1.1C
  - 2.2A
  - 2.2B
  - AMENITY
  - CIRCULATION
  - TENANT SUPPORT
  - PARKING
  - RETAIL
  - 1.1C
  - SERVICE
  - FLAT
  - TH - A
  - TH - B

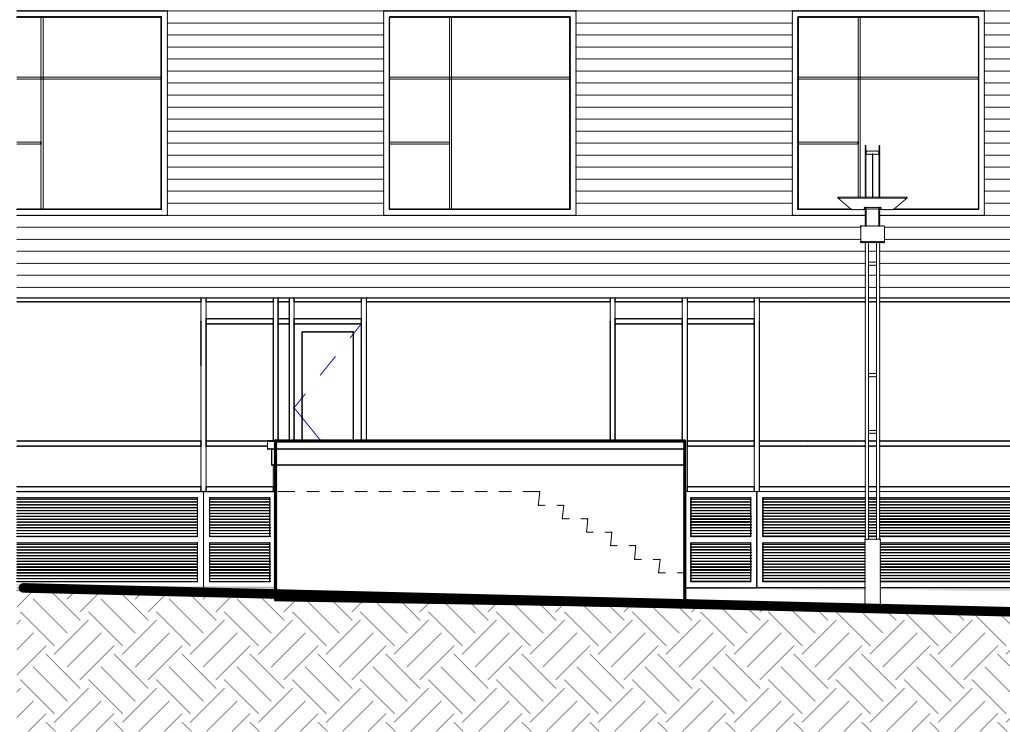




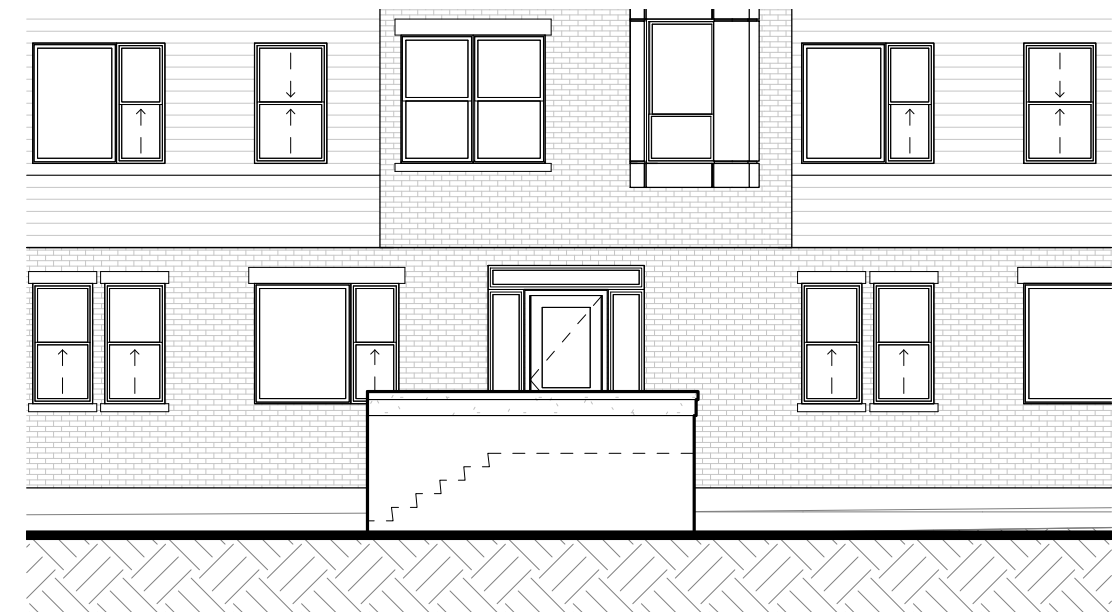
TYPICAL BUILDING B ENTRY ALONG EAGER ST



TYPICAL BUILDING A TH ENTRY ALONG EAGER ST



TYPICAL BUILDING B ENTRY ELEVATION



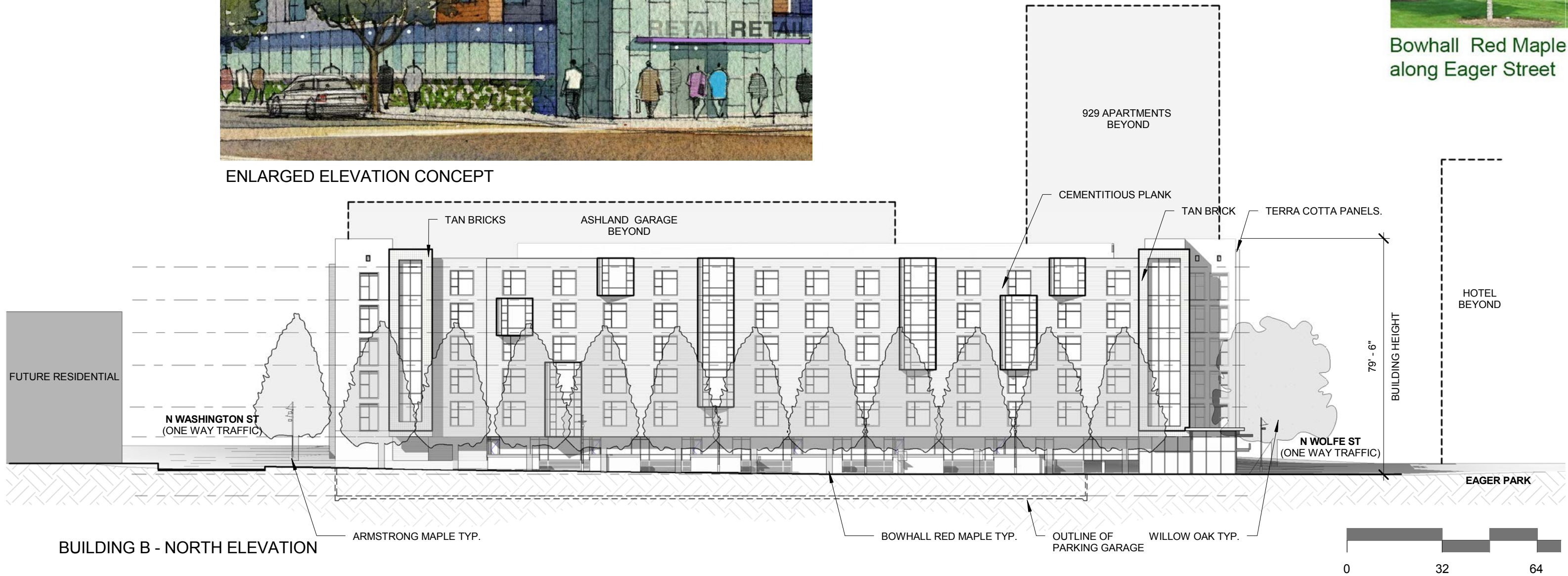
TYPICAL BUILDING A TH ENTRY ELEVATION



ENLARGED ELEVATION CONCEPT



Bowhall Red Maple along Eager Street



BUILDING B - NORTH ELEVATION

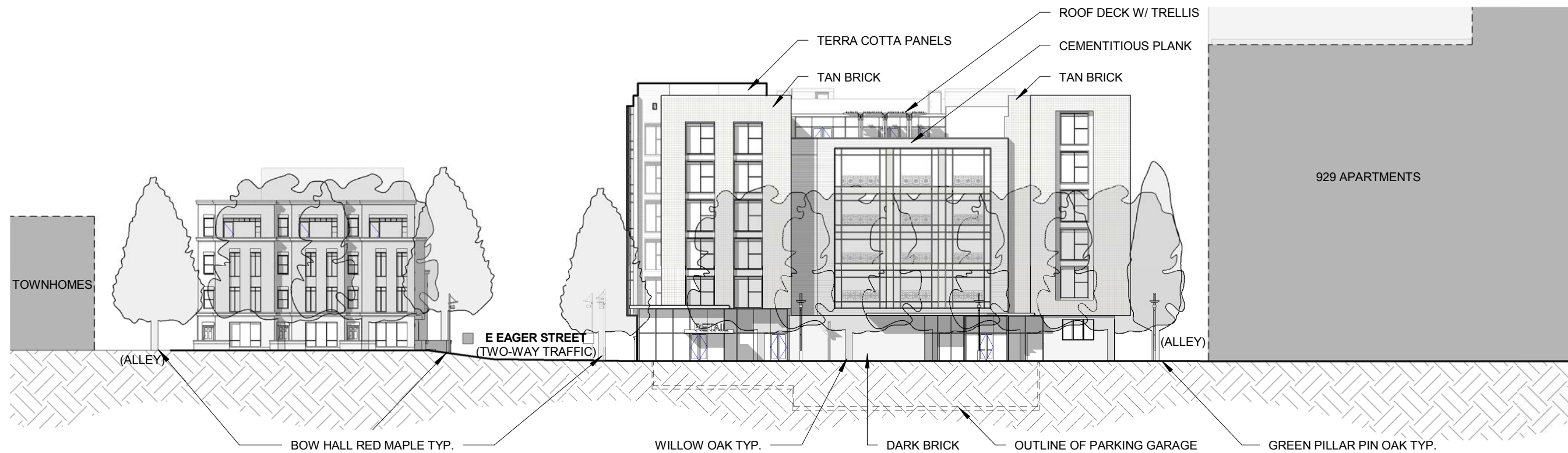


**8 - BUILDING B - ELEVATIONS**  
(UPDATED TO ADDRESS COMMENTS 1 AND 3)

**EAGER SQUARE**

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FEBRUARY 2, 2017

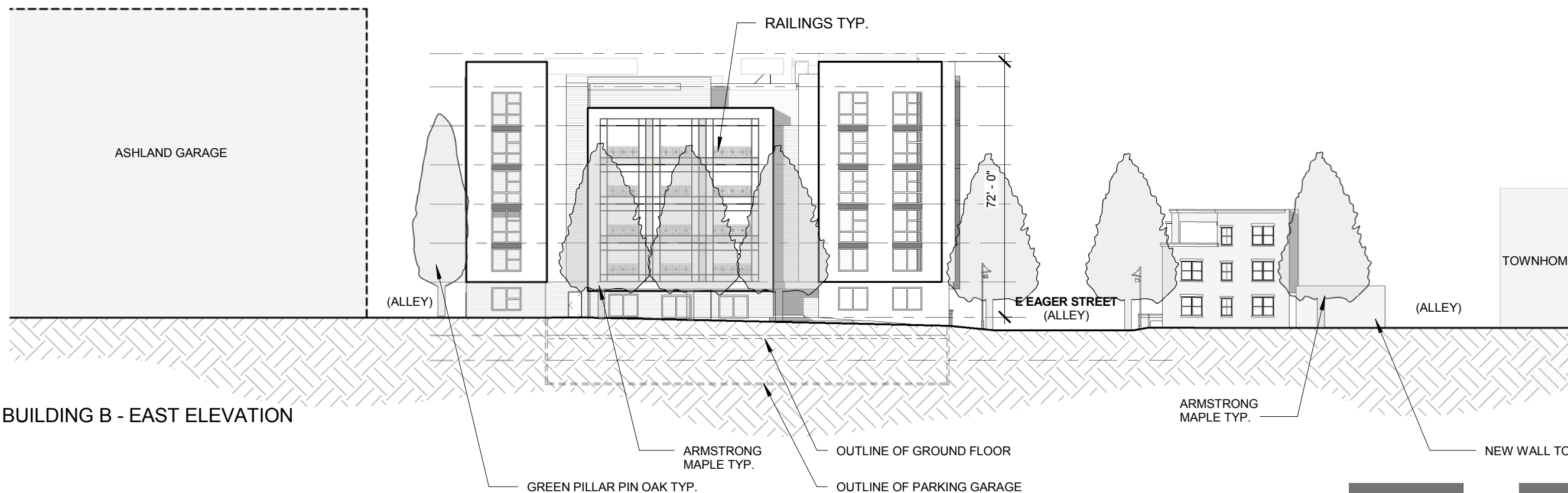




BUILDING B - WEST ELEVATION



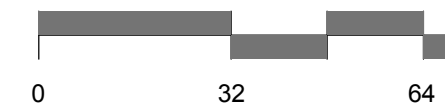
Willow Oak along N. Wolfe Street

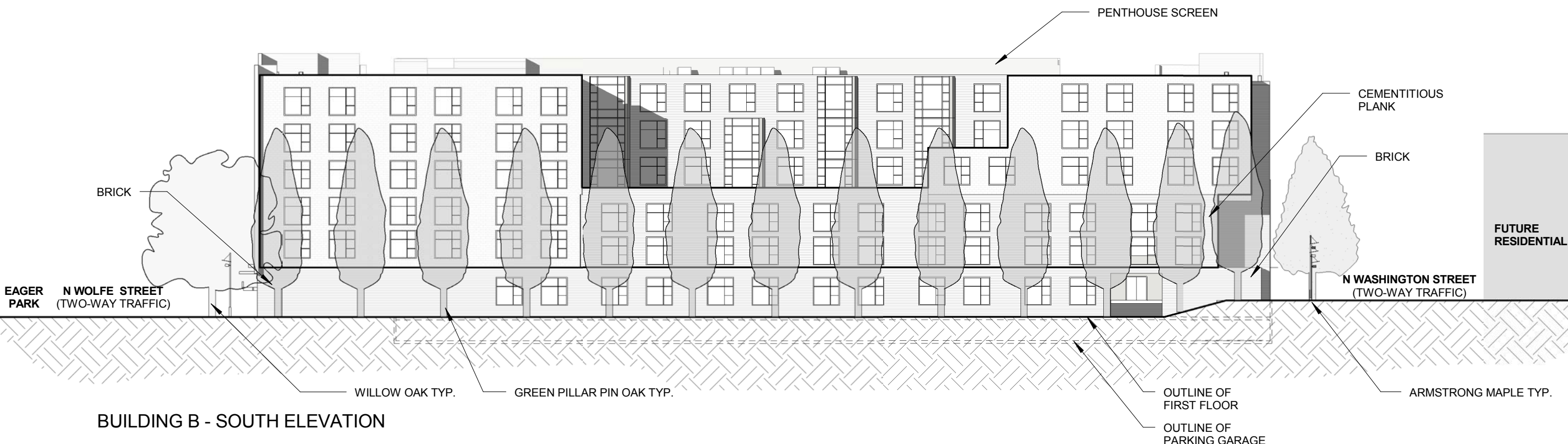


BUILDING B - EAST ELEVATION



Armstrong Maple along N. Washington Street





BUILDING B - SOUTH ELEVATION

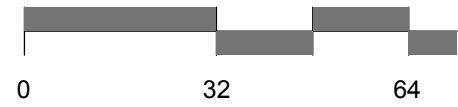
BUILDING A - NORTH ELEVATION



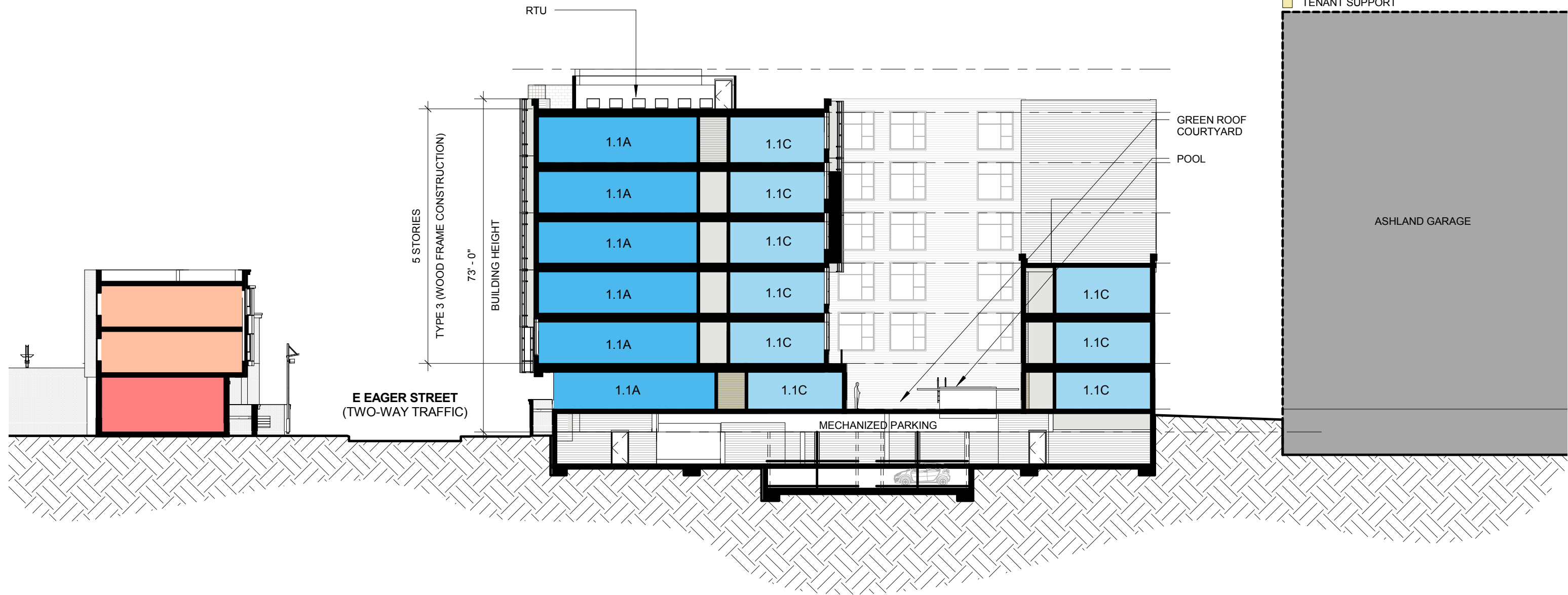
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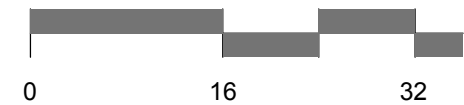
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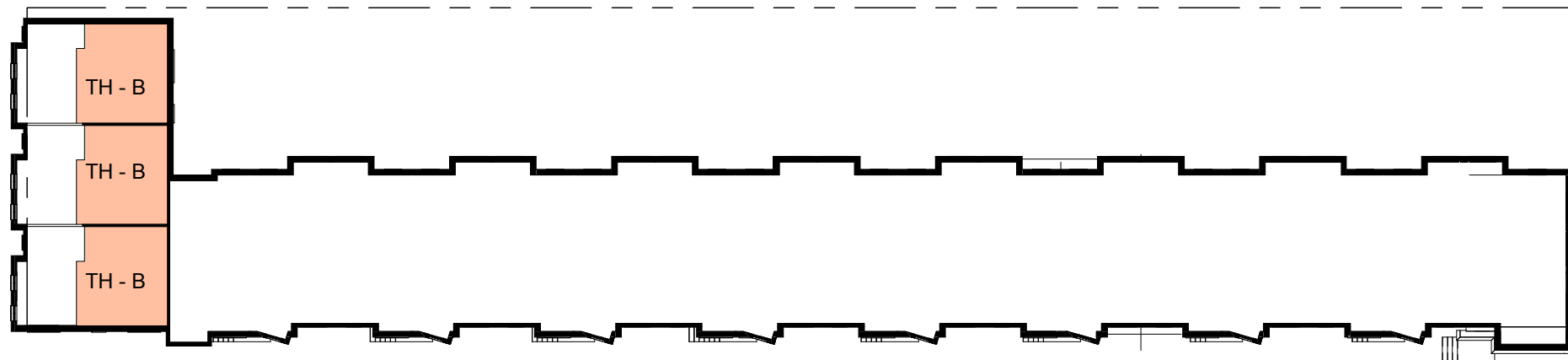


- LEGEND**
- 1.1A
  - 1.1B
  - 1.1C
  - 2.2A
  - 2.2B
  - AMENITY
  - CIRCULATION
  - PARKING
  - RETAIL
  - 1.1C
  - SERVICE
  - FLAT
  - TH - A
  - TH - B
  - TENANT SUPPORT

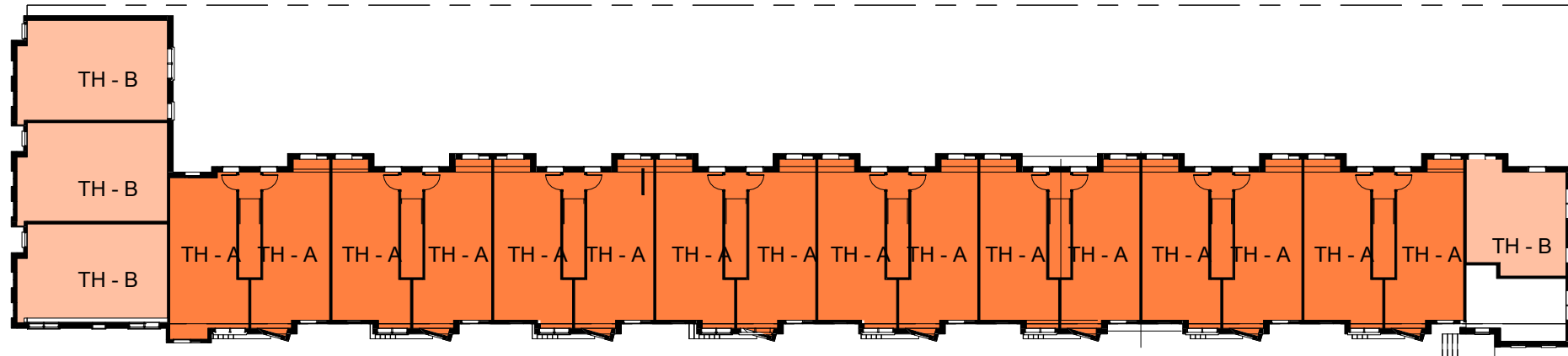


NORTH - SOUTH SECTION





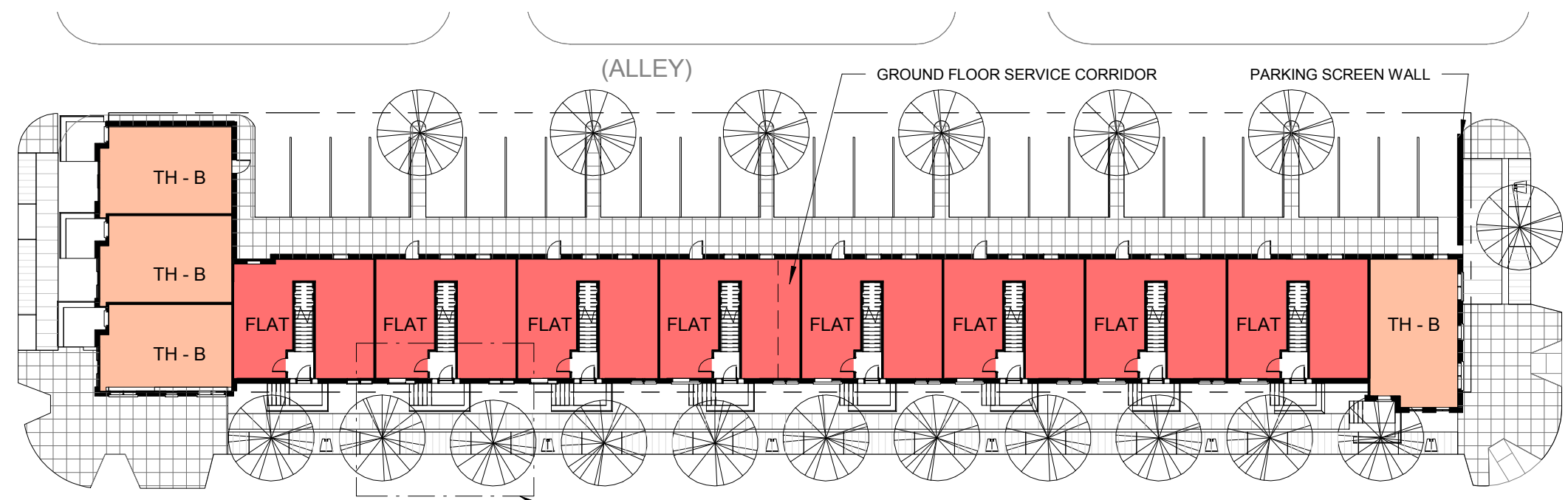
FOURTH FLOOR PLAN



SECOND & THIRD FLOOR PLAN

- LEGEND**
- 1.1A
  - 1.1B
  - 1.1C
  - 2.2A
  - 2.2B
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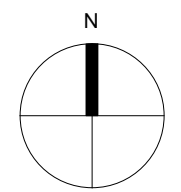
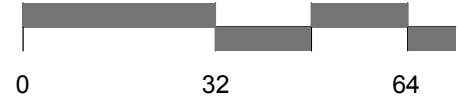
PARKING SPACES	
STANDARD	28
<b>SUBTOTAL</b>	<b>28</b>



FIRST FLOOR PLAN

SEE DETAIL FOR MORE INFORMATION

E EAGER STREET



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Bricks & Mortar | Heart & Soul

**AVG**  
PARTNERS

WIENCEK + ASSOCIATES  
ARCHITECTS + PLANNERS

# 12 - BUILDING A - FLOOR PLANS

(UPDATED TO ADDRESS COMMENTS 2,6, AND 7)

## EAGER SQUARE

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BUILDING A - SOUTH ELEVATION



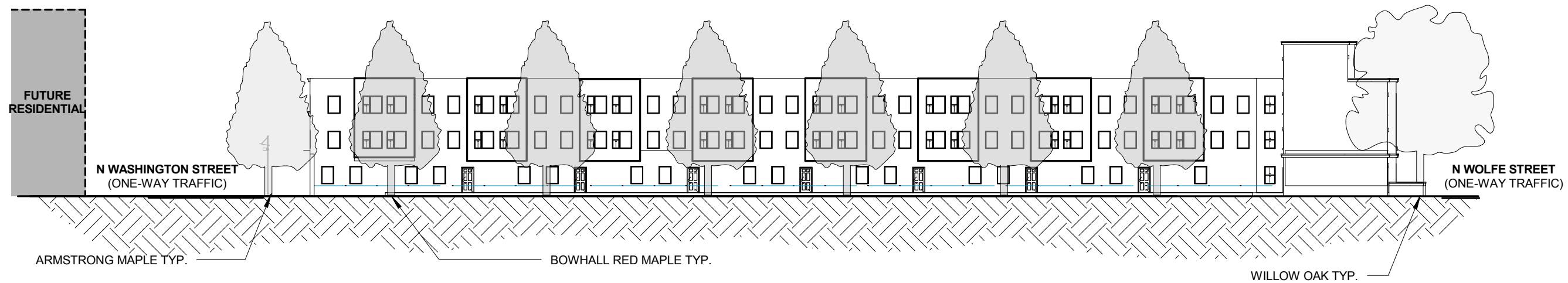
Bowhall Red Maple along Eager Street



BUILDING A - ENLARGED ELEVATION DETAIL



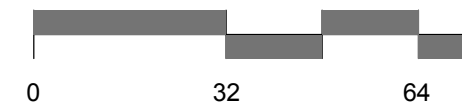
ENLARGED ELEVATION CONCEPT

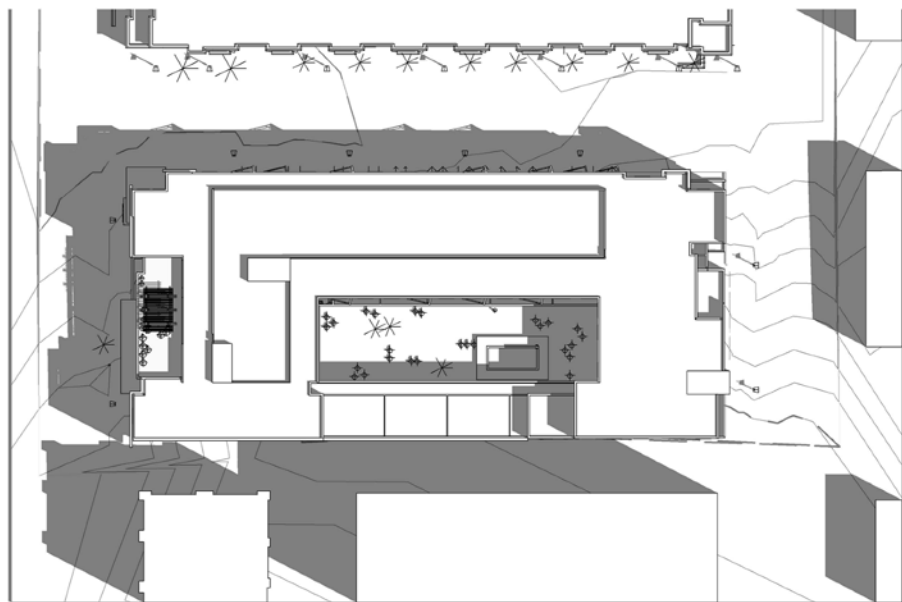


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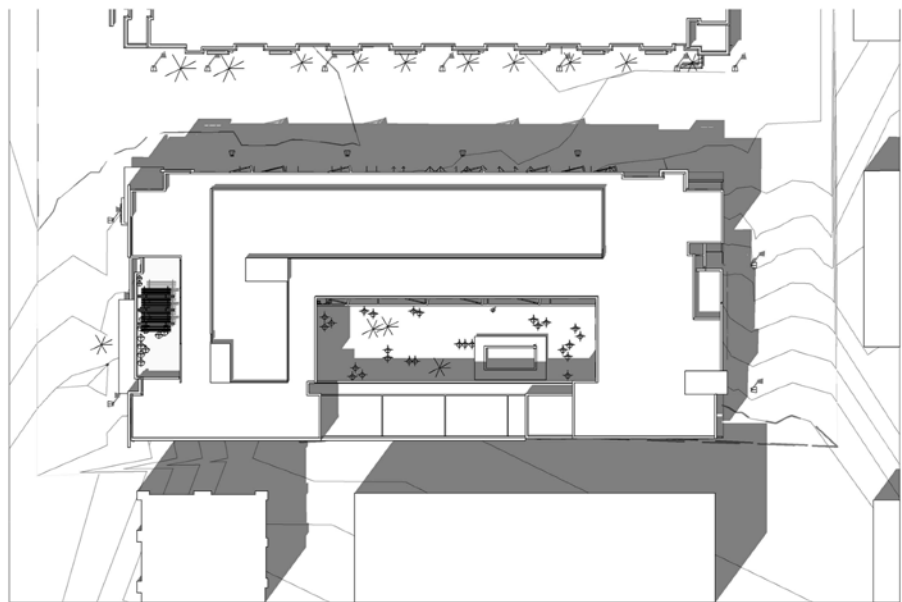


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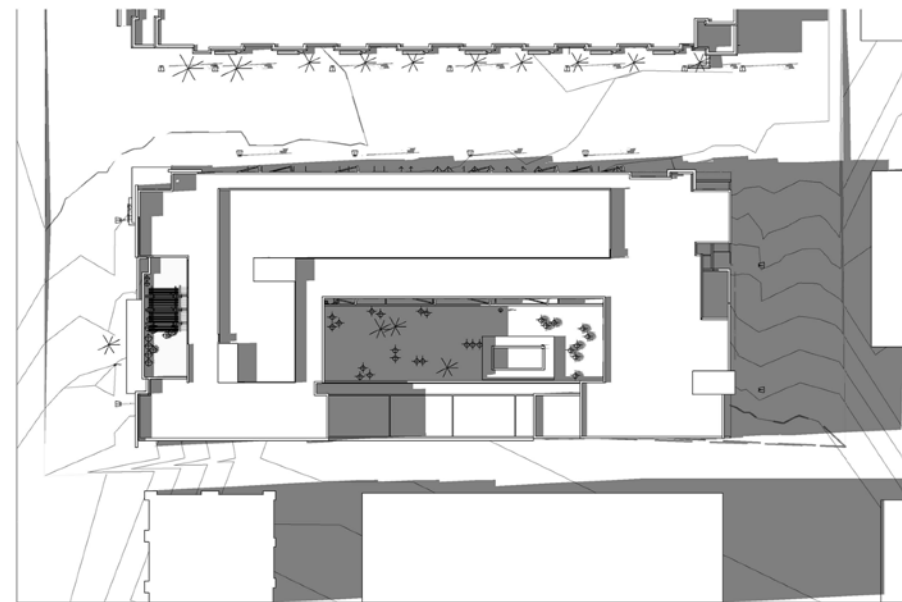




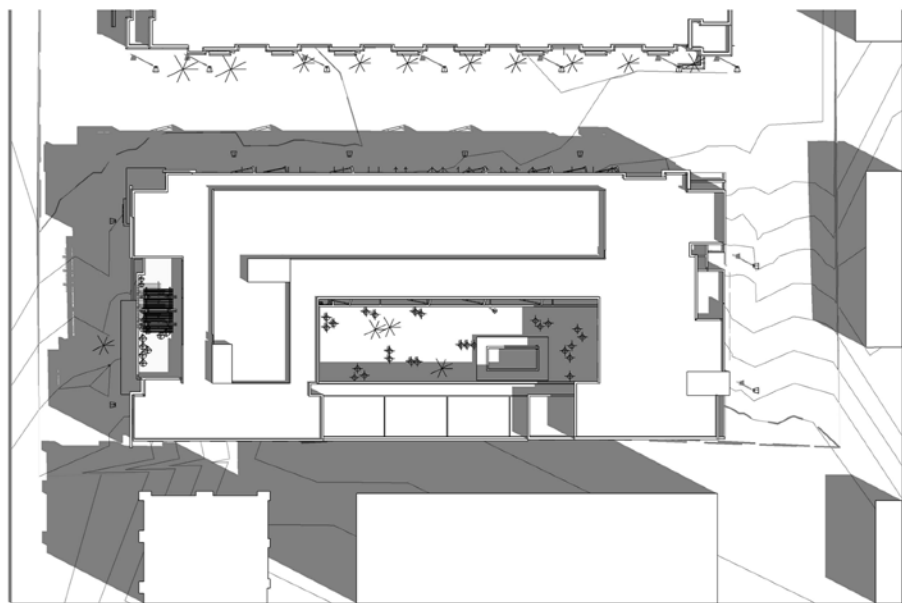
① May 20 at 10 am



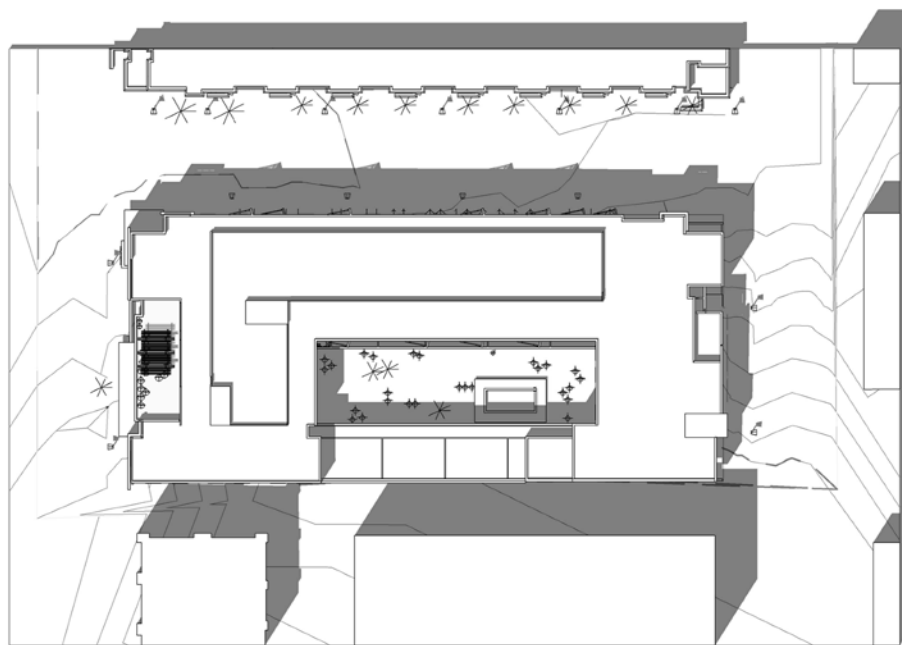
② May 20 at 1 pm



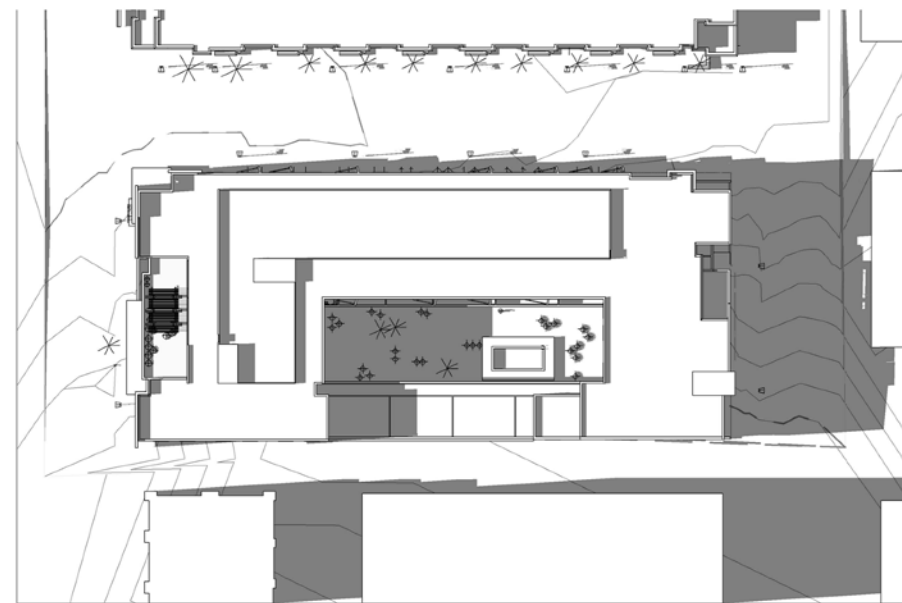
③ May 20 at 4 pm



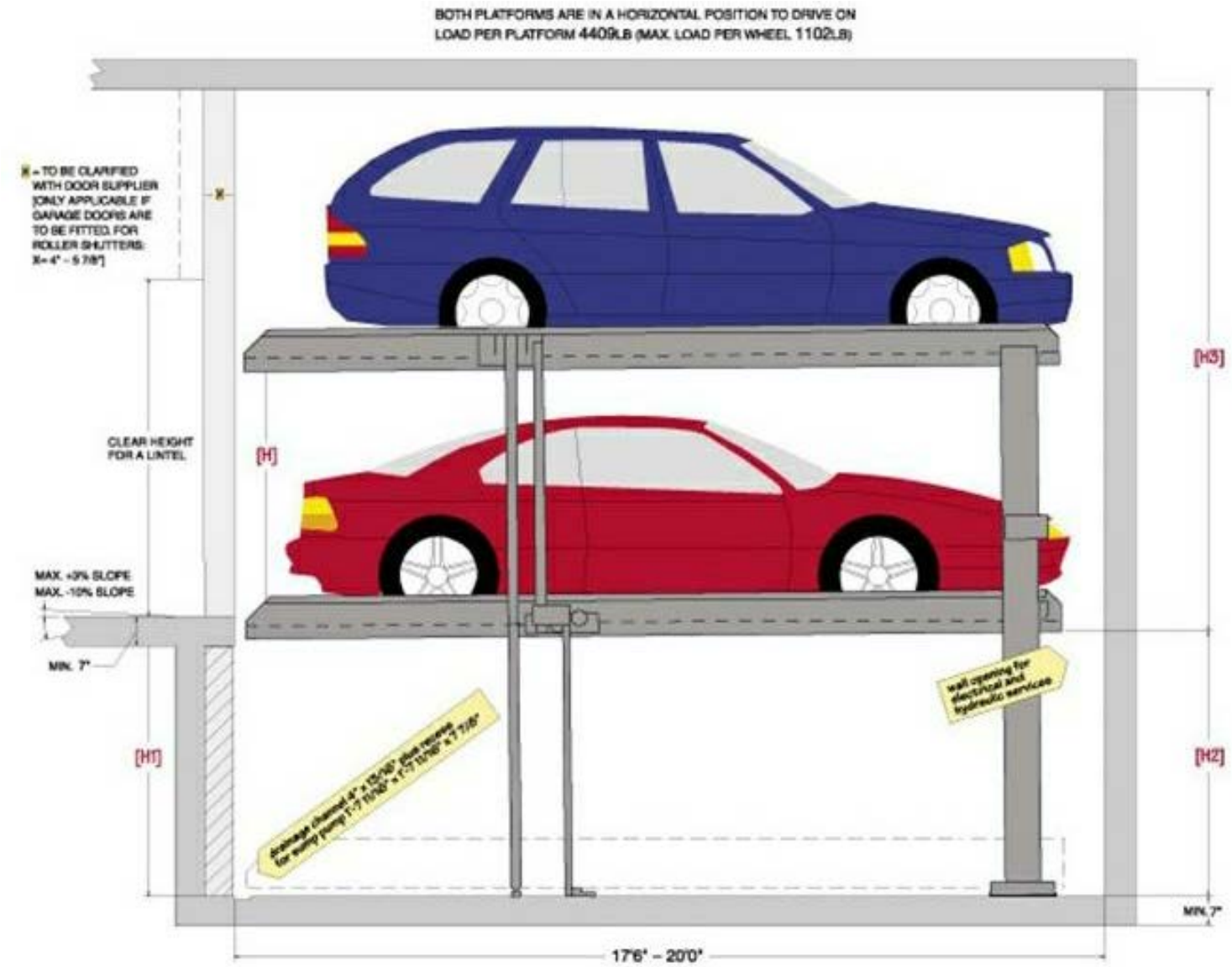
④ July 20 at 10 am



⑤ July 20 at 1 pm



⑥ July 20 at 4 pm





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